

CECIL HOTEL | PROJECT SUMMARY

SCOPE OF WORK:
PROPOSED WALL SIGN

EXISTING USE OF BUILDING:
HOTEL

ZONING INFORMATION:

C2-2D
ZI-2488 REDEVELOPMENT PROJECT AREA: CITY CENTER
ZI-2353 RESIDENTIAL HOTEL UNIT CONVERSION DEMOLITION ORDINANCE
ZI-2487 CITY CENTER/CENTRAL IND. DEV. GUIDELINES & CONTROLS FOR
RESIDENTIAL HOTELS
ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES
ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE AREA
ZI-2374 STATE ENTERPRISE ZONE: LOS ANGELES
ZI-2498 LOCAL EMERGENCY TEMPORARY REGULATIONS - TIME LIMITS AND
PARKING RELIEF - LAMC 16.02.1
(SEE SHEET 02)

LEGAL DESCRIPTION:
640 S MAIN STREET
APN: 5148021010
LOT A
TRACT HELLMAN-WOLFSKILL LOTS

BUILDING LINES:
(SEE PLAN ON SHEET 08)

ALLEY LOCATION/SIZE:
WERDIN PL WIDTH IS APPROXIMATELY 14FT
(SEE PLAN ON SHEET 08)

LOT SIZE:
13,537.4 SQ FT

STREET CENTERLINE:



SIZE, TYPE, LOCATION OF ALL SIGNS ON LOT:

(SEE SHEET 04 FOR SIGNS LOCATED ON ELEVATION WITH SQ FT)
(SEE SHEET 05-06 FOR SIGNS PERMITS)

BUILDING ELEVATIONS/HEIGHT:

154'-0"
(SEE ELEVATION ON SHEET 08)

CLIENT:

SIMON BARON
OWNER. DEVELOPER

SIMONBARON.COM

LOCATION:

**Hotel
Cecil**

640 S MAIN STREET
LOS ANGELES, CA 90014

DATE:

16 AUGUST 2022

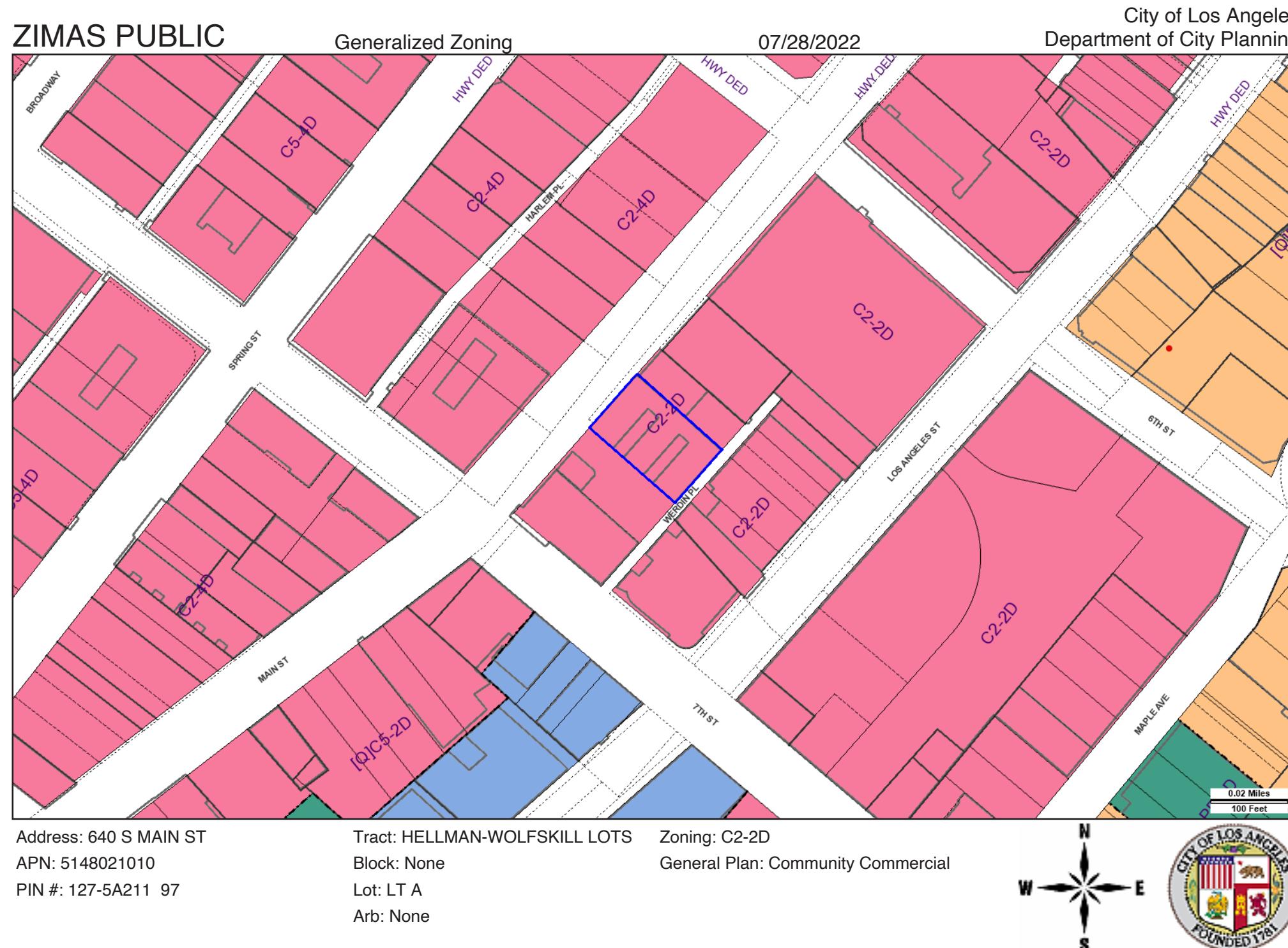
01

CECIL HOTEL | ZONING INFORMATION

CLIENT:

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Wall Sign (L.A.M.C. Sections 14.4.2 & 14.4.10; L.A.B.C. Section 6211)

Any sign attached to, painted on or erected against the wall of a building or structure, with the exposed face of the sign in a plane approximately parallel to the plane of the wall.

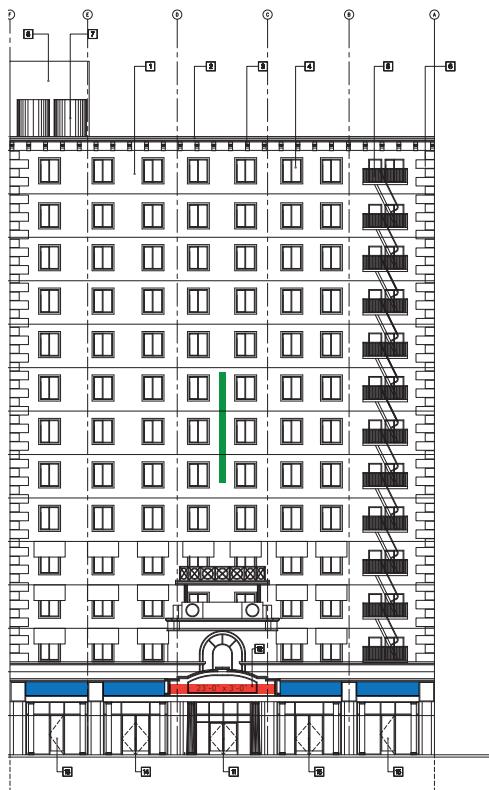
- Height shall not extend above the top of the wall of the building. Sign shall not project more than 24" from the face of the building and shall not project over the building line greater than that permitted in Diagram A.
- Location shall be minimum 5' from an interior lot line and if facing the rear lot line and within 30' of an R3 or more restrictive zone, shall not be illuminated. Sign shall not be placed on a fence or freestanding wall.
- Area of all wall signs facing a street shall not exceed 2 square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single story building.
- For buildings more than one story in height, the area of all walls signs shall not exceed that permitted for a single story by more than 10% for each additional story, with a maximum increase of 50% of that permitted for a single story building. Channel letter signs are allowed a 20% increase in area provided there is no change in the background color.
- Combined area of illuminated architectural canopy, roof, and wall signs facing the same direction shall not exceed 2 square feet per foot of street frontage, plus one square foot per foot of building frontage.
- Combined area of wall, projecting, monument, illuminated architectural canopy, pole, roof, and window signs shall not exceed 4 square feet per foot of street frontage.
- A message on the edge of a wall sign shall be regulated as a projecting sign.
- Signs located over 100' above grade shall be identification signs and shall comprise a maximum of 80% of the building width and a maximum of 5% of the wall area.
- In lieu of a complete sign inventory for the lot and compliance with the above area limits, the total area of all wall signs for an individual tenant space shall not exceed 3 square feet per foot of exterior tenant space frontage.
- Projection over the building line shall comply with Diagram A.

CECIL HOTEL | PERMITTED SIGN LOCATIONS

CLIENT:

SIMON BARON
OWNER. DEVELOPER

SIMONBARON.COM



WALL SIGNS – 156 sq ft
MARQUEE SIGN – 46 sq ft
PROJECTING SIGN – 240 sq ft

1 WEST ELEVATION
Scale: 1:500

LOCATION:

**Hotel
Cecil**

640 S MAIN STREET
LOS ANGELES, CA 90014

DATE:

16 AUGUST 2022

04

CECIL HOTEL | PERMITTED MARQUEE AND WALL SIGNS

CLIENT:

SIMON BARON
OWNER. DEVELOPER

SIMONBARON.COM

640 S Main St

Permit #: **05048 - 30000 - 01605**

Plan Check #: B05LA15063 Printed: 11/21/05 02:50 PM

Event Code: **HELLMAN-WOLFSKILL LO**

Sign Onsite Plan Check at Counter Plan Check

City of Los Angeles - Department of Building and Safety

APPLICATION FOR INSTALLATION AND INSPECTION OF SIGNS

Last Status: Ready to Issue Status Date: 11/21/2005

TRACT	BLOCK	LOT#	ABB	COUNTY MAP REF#	PARCEL ID # (PIN #)	ASSSESSOR PARCEL #
HELLMAN-WOLFSKILL LO	LT A		M 3-48	127-5A211 97	5148 - 021 - 010	

3. PARCEL INFORMATION

Area Planning Commission - Central Census Tract - 2073.00 Parking Dist. - CCPD
LADBS Branch Office - LA District Map - 127-5A211
Council District - 9 Energy Zone - 9
Certified Neighborhood Council - Downtown Los Angeles Fire District - 1 (Entire parcel)
Community Plan Area - Central City Near Source Zone Distance - 8

ZONES: C2-2D /

4. DOCUMENTS

ZI-040 Central Bsn District Redevelo-ORD - ORD-164207-SA150 CPC - CPC-2005-1122-CA
ZA - ZA-1992-423-RV CRA - ZI 2316 CITY CENTER REDEV CPC - CPC-2005-1124-CA
TNI - Old Bank District - Historic Core CRA - ZI 940 CENTRAL BSN DIST CPC - CPC-2005-361-CA
RENT - YES CPC - CPC-1986-606-GPC CDBG - BID-Historic Core
AFF - AFF-10007

5. CHECKLIST ITEMS

Special Inspect - Anchor Bolts Special Inspect - Structural Observation
Special Inspect - Epoxy Bolts Fabricator Reqd - Shop Welds
Special Inspect - Field Welding Fabricator Reqd - Structural Steel

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s): Street Wise Investments 640 Main St LOS ANGELES CA 90014
Tenant: Applier (Relationship Agent for Owner) Richard Tilton - Blake Signs 11661 Seaboard Cir STANTON, CA (714) 891-5682

7. EXISTING USE

PROPOSED USE (19) Marquee Sign
(19) Wall Sign

8. DESCRIPTION OF WORK

NEW MARQUEE SIGN AT THE 3 SIDES OF THE MARQUEE AND FOUR NEW WALL SIGNS;

9. # Bldgs on Site & Use: 1 HOTEL

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Francisco Rojas DAS PC By: DAS PC By: Francisco Rojas
OK for Cashier: Shahen Akyelan Coord. OK: Coord. OK: Shahen Akyelan
Signature: *Shahen A* Date: **11/21/05**

11. PROJECT VALUATION & FEE INFORMATION

Final Fee Period
Permit Valuation: \$5,000 PC Valuation: \$5,000

FINAL TOTAL Sign 305.38
Permit Fee Subtotal Sign 175.00
Plan Check Subtotal Sign 87.50
Fire Hydrant Refuse-To-Pay 1.05
E.Q. Instrumentation 5.27
O.S. Surcharge 15.81
Sys. Surcharge 15.75
Planning Surcharge 5.00
Planning Surcharge Misc Fee 0.00
Permit Issuing Fee 0.00
Signs or Gas Tube Systems Fee 0.00

12. SEWER CAP INFORMATION

Total Bond(s) Due: **1021068100504725**

13. ATTACHMENTS

Plot Plan *(K5)*

* P 0 5 0 4 8 3 0 0 0 0 1 6 0 5 F N *

Permit #: **05048 - 30000 - 01605**

Plan Check #: B05LA15063 Printed: 11/21/05 02:50 PM

Event Code: **HELLMAN-WOLFSKILL LO**

13. STRUCTURE INVENTORY (Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

(P) # 223607: # of Faces: +3 Faces / 3 Faces
(P) # 223607: Height from Grade: +10 Feet / 10 Feet
(P) # 223607: Illuminated Sign
(P) # 223607: Sign Area: +39 Sqft / 39 Sqft
(P) # 223607: Sign Length: +23 Feet / 23 Feet
(P) # 223607: Sign Width: +2 Feet / 2 Feet
(P) # 223607: Street Frontage: 92 Feet

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME, ADDRESS

(C) Blake Sign Company Inc 11661 Seaboard Circle, Stanton, CA 90680 CLASS C45 LICENSE# 506422 PHONE# 714-891-5682
(E) Tucker, Jerry Walter 508 N Newport Bl, Jerry Tucker & Asso Newport Beach, CA 92663 S2187

17. PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

18. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **C45** Lic. No.: **506422** Contractor: **BLAKE SIGN COMPANY INC**

19. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:
(I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
(I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier: **State Comp. Ins. Fund** Policy Number: **1581808**
(I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEYS FEES.

20. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or was sent to the AQMD or EPA as per section 1982.5.5 of the Health and Safety Code. Due to the possible presence of lead-based paint, lead safe work practices are required on all repairs in pre-1979 buildings that disturb paint. Failure to do so could create lead hazards that violate California Health and Safety Code Section 17920.10 and Section 103256 and may be subject to a \$1000 fine or criminal prosecution. For more information call LA County's Department of Health Services at (800)524-5323. In order to locate a Lead Certified Professional and obtain additional information, call California DHS at (800)597-5323 or go to the DHS Website at <http://www.dhs.ca.gov/childlead/html/GENlist.html>.

21. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code). Lender's name (if any): *None* Lender's address: *None*

22. FINAL DECLARATION

I certify that I have read this application, INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and inspection. I, as the representative of this city or county upon the above-mentioned property, for inspection purposes, I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

(1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
(2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: *RICK TILTON*, Sign: *R.T.* Date: **10/21/05** Contractor: **Authorized Agent**

1021068100504725

COUNCIL DISTRICT: 9 INSPECTION DISTRICT: SIGNLA PLOT PLAN ATTACHMENT

640 S Main St

Permit Application #: **05048 - 30000 - 01605**

Sign Onsite Onsite Plan Check

City of Los Angeles - Department of Building and Safety Plan Check #: B05LA15063 Initiating Office: WEST LA Printed on: 10/21/05 14:10:48

PLOT PLAN ATTACHMENT

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1021068100504725

LOCATION:

**Hotel
Cecil**

640 S MAIN STREET
LOS ANGELES, CA 90014

DATE:

16 AUGUST 2022

05

CECIL HOTEL | PERMITTED PROJECTING SIGN

CLIENT:

SIMON BARON
OWNER DEVELOPER

SIMONBARON.COM

APPLICATION FOR INSPECTION OF SIGNS PUBLIC RECORD						B & S B-5-R 1.81
CITY OF LOS ANGELES						DEPT. OF BUILDING AND SAFETY
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.						
1. LEGAL DESC'R.	LOT A	BLOCK	TRACT Hellman Wolfskill	COUNCIL DISTRICT NO. 9	DIST. MAP 126-209	CENSUS TRACT 2018.00
2. TYPE OF SIGN OR NEW WORK	PROJ. Sign		RESIDENTIAL	COMMERCIAL	ZONE 05-4(-1)	
3. JOB ADDRESS	640 S. Main St.				FIRE DIST. ONE	
4. BETWEEN CROSS STREETS	6th St.	AND	7th St.	LOT (TYPE) INT		
5. OWNER'S NAME	Hotel Cecil		PHONE	LOT SIZE 92X147		
6. OWNER'S ADDRESS	CITY Same		ZIP			
7. ARCHITECT OR ENGINEER	BUS. LIC. NO. 63600744		ACTIVE STATE LIC. NO. 63600744	PHONE ARLEY Rear		
8. ARCHITECT OR ENGINEER ADDRESS	CITY ZIP 12753 BRENTWOOD, GARDEN CITY, CA		BLDG. LINE			
9. QUALIFIED INSTALLER	BUS. LIC. NO. 471598		ACTIVE STATE LIC. NO. 775-3627	AFFIDAVITS Z1940		Argonaut
10. INSTALLER'S ADDRESS	CITY ZIP 1700 W. ANAHEIM ST.		NDPD		AFF10007	
11. SIZE OF EXISTING BUILDING	WIDTH 10 LENGTH 100	TYPE 4 STORIES 6	EXT. WALL CONST. CONC	ROOF CONST. CONC		
12. SIZE OF SIGN	5x24	TOTAL COPY AREA 240SF	OVERALL HEIGHT 59"	FROM GRADE	FROM ROOF YES	HIGHWAY DED.
13. JOB ADDRESS	640 S. Main St.		STREET GUIDE JA		DIST. OFFICE JA	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED SIGN	\$ 6500					
15. MATERIAL OF SIGN CONSTRUCTION	SUPPORTING FRAME steel	FRAME OF COPY metal	SURFACE OF SIGN plastic	CONS. ---		
16. TYPE OF SIGN OR NEW WORK	PROJ. SIGN		<input type="checkbox"/> SINGLE FACE <input type="checkbox"/> DOUBLE FACE	ZONED BY Baynton		
17. ILLUMINATION	<input type="checkbox"/> NONE <input checked="" type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL	<input type="checkbox"/> FLASHING <input type="checkbox"/> OTHER	FREeway CLEARANCE CLEAR		C.R.P.	
18. NO. OF SIGNS OR GAS TUBE SYSTEMS	1	NO. OF ADDITIONAL BRANCH CIRCUITS	1	NO. OF CONTROL DEVICES	1	
PERMIT FEES		CLEARANCES AND/OR APPROVALS REQUIRED		PLANS CHECKED		
SIGNS/G. T. SYSTEMS 13	ADDITIONAL CIRCUITS	Yes No		APPLICANT APPROVED	DATE 12-11-81	
ELECTRICAL SERVICE	FREeway SURVEY <input type="checkbox"/>		APPLICANT APPROVED		FILED WITH	
CONTROL DEVICES	TRAFFIC DEPT. <input type="checkbox"/>		APPLICANT APPROVED		Position	
ISSUING FEE \$50	CONT. INSP. LIC		APPLICANT APPROVED		Date	
BLDG. PERMIT 46.00	G.P.I.		APPLICANT APPROVED		APPLICANT APPROVED	
P.C. 3910 TOTAL 67.50	CASHIER'S USE ONLY		APPLICANT APPROVED		APPLICANT APPROVED	
S.P.C.	I.F. /		APPLICANT APPROVED		APPLICANT APPROVED	
DISTRICT OFFICE T.A.	TYPIST /		APPLICANT APPROVED		APPLICANT APPROVED	
P.C. NO. dp	INSPECTOR		APPLICANT APPROVED		APPLICANT APPROVED	
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT TWO YEARS AFTER OR 180 DAYS IF WORK IS NOT BEGUN.						

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

19. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 10/14/81 Lic. Class 645 Lic. No. 271598 Contractor's Signature *May Gable*

Contractor's Mailing Address 1700 W. ANAHEIM ST.

OWNER-BUILDER DECLARATION

20. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Sec. 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, or my employees, with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: Contractor's License Law does not apply to an owner of property who builds or improves the property, who does such work himself or through his own employees, provided that such improvements are not sold or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. B. & P. C. for this reason.

Date Owner's Signature

WORKERS' COMPENSATION DECLARATION

21. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 2800, Lab. & P. C.)

Policy No. WC74-39800476 Company Argonaut

Certified copy is hereby furnished.

Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 10/14/81 Applicant SUPERIOR ETC.

Applicant's Mailing Address 1700 W. ANAHEIM ST.

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

22. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner

so as to become subject to the Workers' Compensation Laws of California.

Date Applicant

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

23. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name

Lender's Address

24. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0402 LAMC)

Signed *May Gable* AGREE 10/14/81

(Owner or agent having property owner's consent) Position Date

APPLICANT APPROVED

CECIL HOTEL | PRECEDENT IMAGERY



CLIENT:

SIMON BARON
OWNER DEVELOPER

SIMONBARON.COM

LOCATION:

**Hotel
Cecil**

640 S MAIN STREET
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DATE:

16 AUGUST 2022

CECIL HOTEL | ORIGINAL WALL SIGN ELEVATION & PLAN

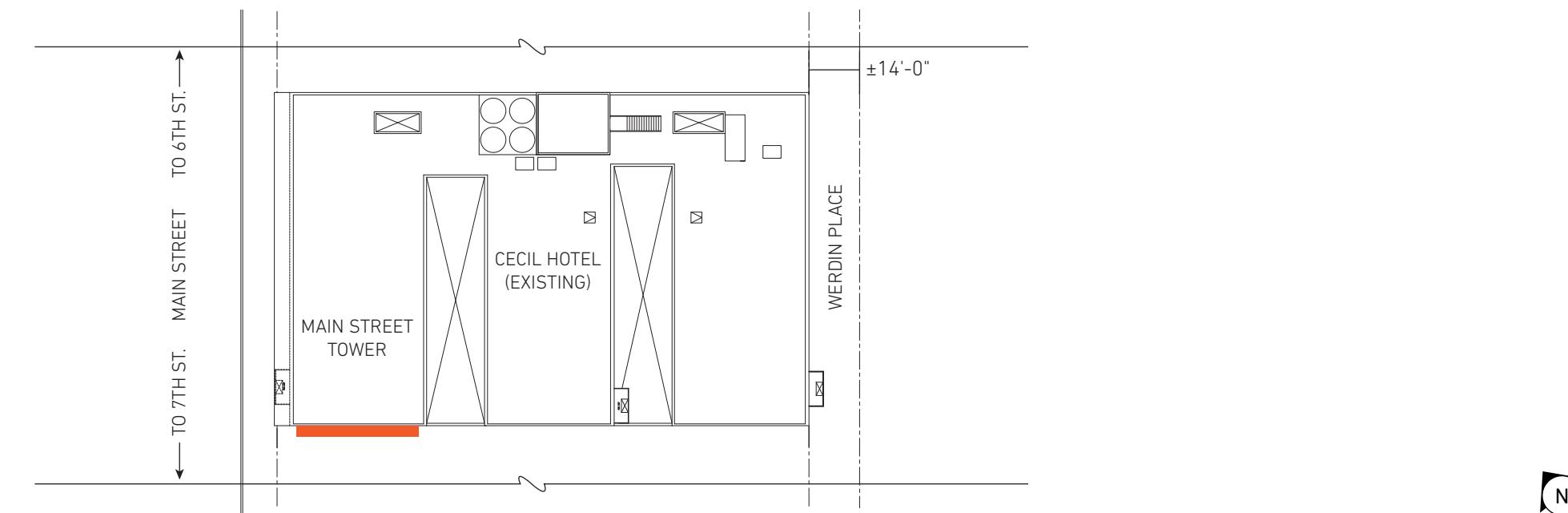
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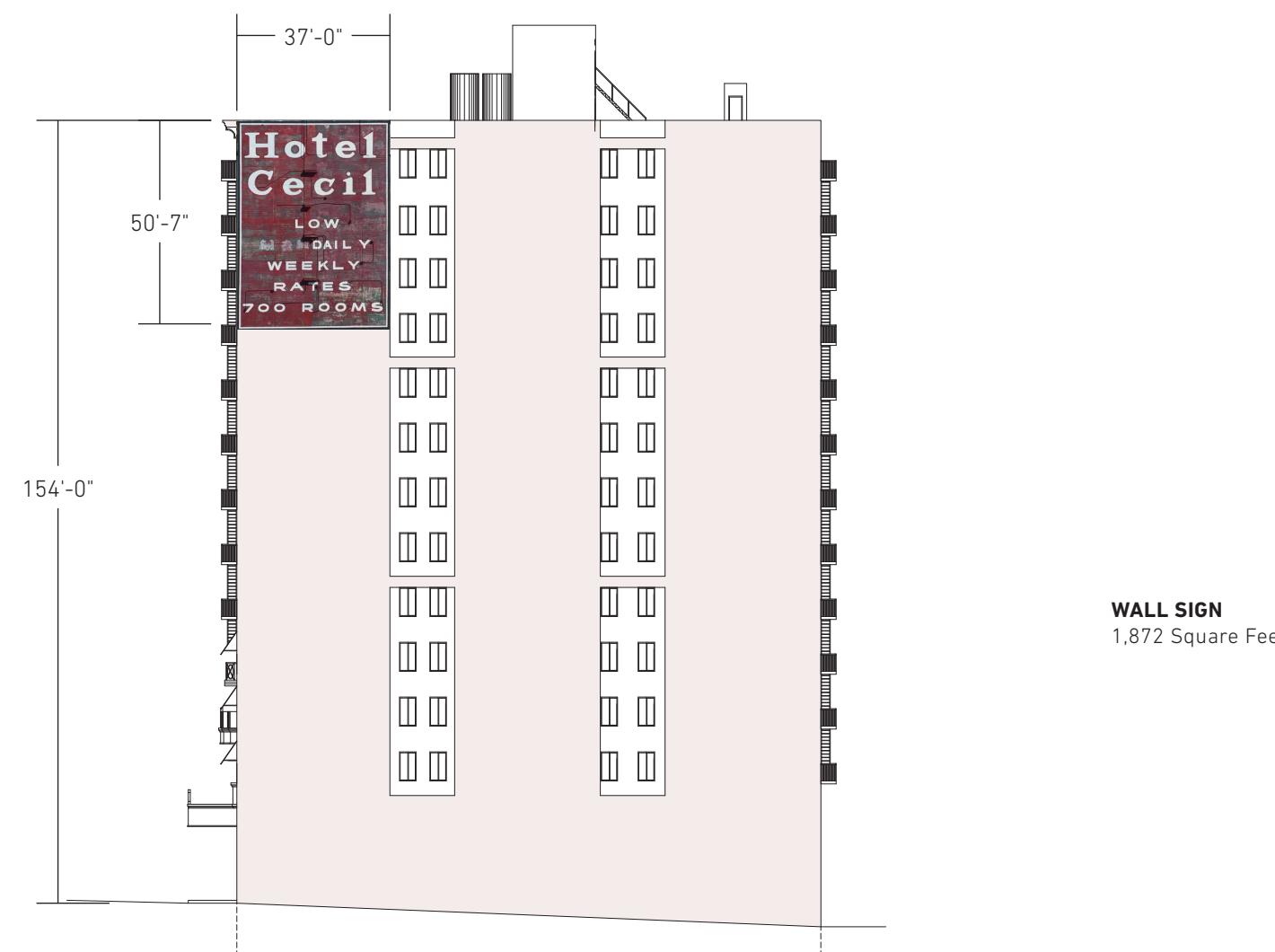
2 PLAN

Scale: 1:500



1 SOUTH ELEVATION

Scale: 1:500



LOCATION:

**Hotel
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640 S MAIN STREET
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DATE:

16 AUGUST 2022

08

CECIL HOTEL | PROPOSED WALL SIGN ELEVATION & PLAN

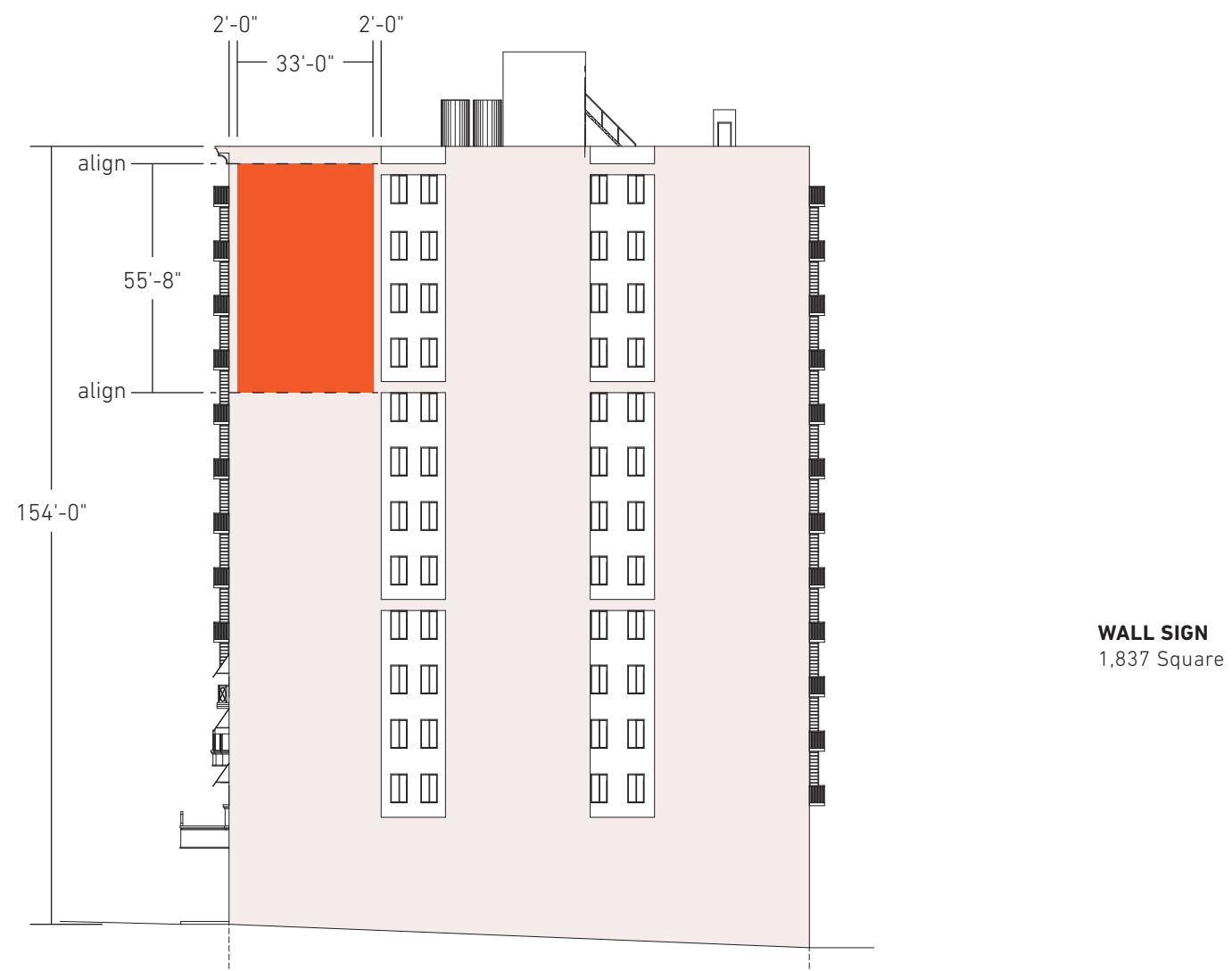
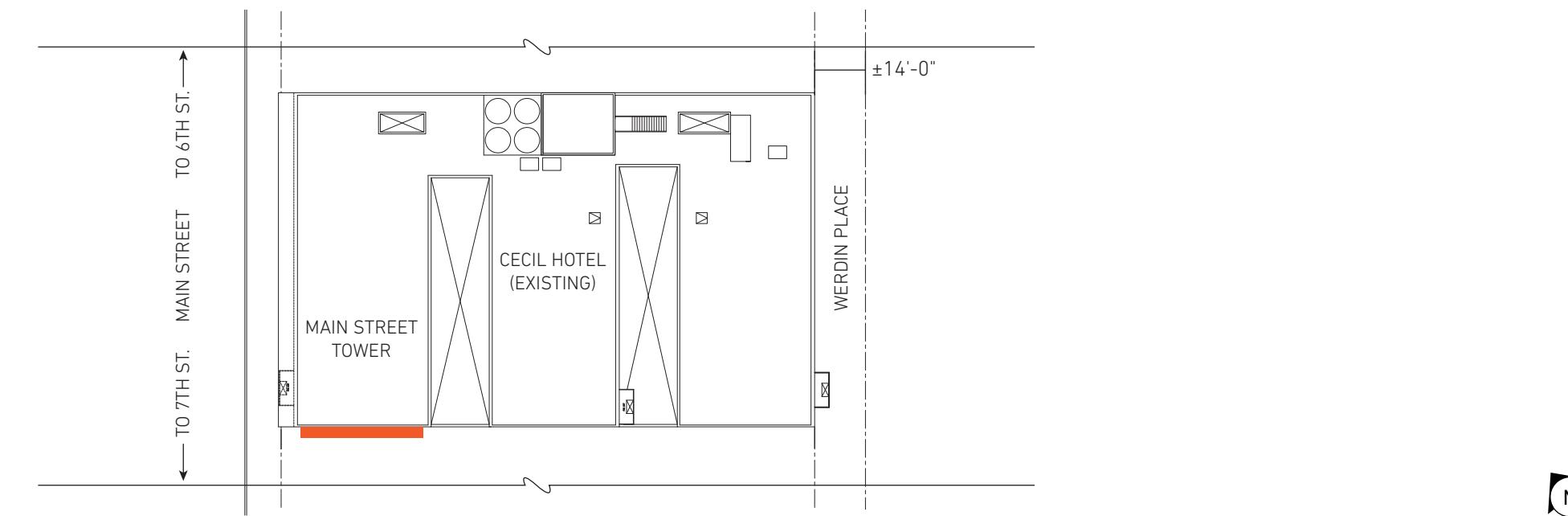
CLIENT:

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2 PLAN

Scale: 1:500



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DATE:

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09

1 SOUTH ELEVATION

Scale: 1:500

CECIL HOTEL | PROPOSED SAMPLE ARTWORK WALL SIGN ELEVATION & PLAN

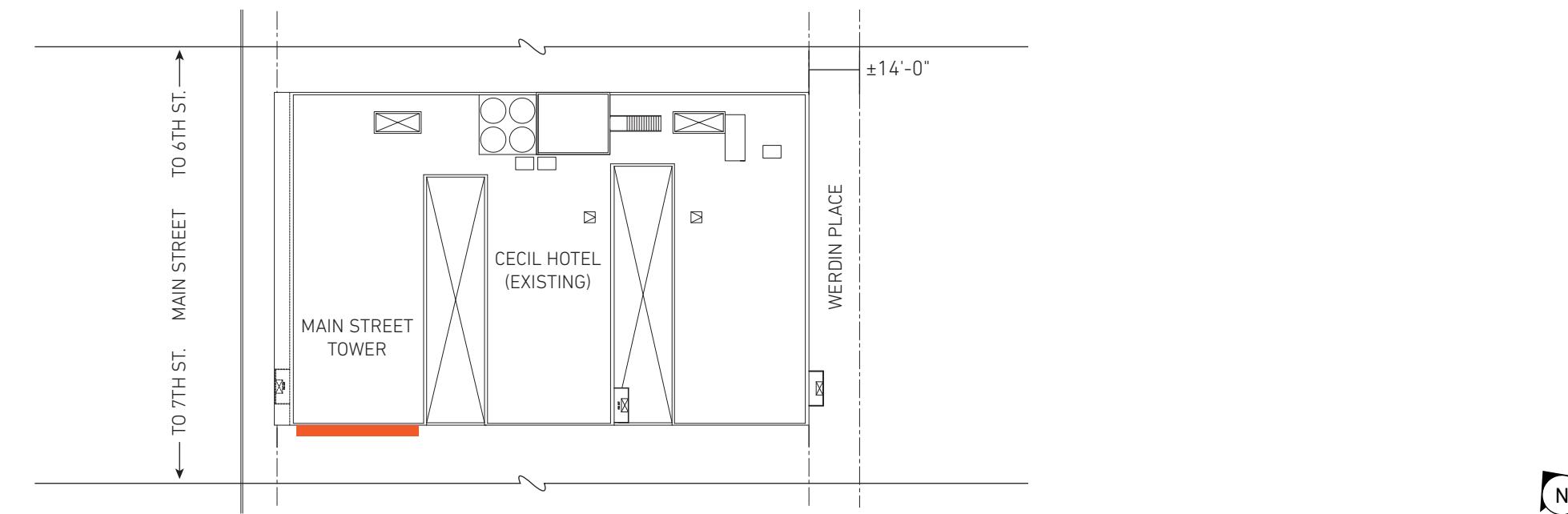
CLIENT:

SIMON BARON
OWNER. DEVELOPER

SIMONBARON.COM

2 PLAN

Scale: 1:500



1 SOUTH ELEVATION

Scale: 1:500

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16 AUGUST 2022

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CECIL HOTEL | SAMPLE ARTWORK RENDERING



THE CREATIVE IS REPRESENTED FOR ILLUSTRATION PURPOSES

CLIENT:

SIMON BARON
OWNER DEVELOPER

SIMONBARON.COM

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